

LIBERTY TWP  
ADA CORP

00240

Hardin County, Ohio  
Michael T. Bacon, Auditor

25-140065.0000  
D15

COM  
2025

sale

Eff Rate:- 51.26 — 48.36 — 48.55 — 48.75 — a/r

|                             |            |                        |  |  |
|-----------------------------|------------|------------------------|--|--|
| 2022 QUALITY R & C PROPRT   | 2015-09-22 |                        |  |  |
| 2023 QUALITY R & C PROPRT   | 2015-09-22 |                        |  |  |
| 2024 QUALITY R & C PROPRT   | 2015-09-22 |                        |  |  |
| 2025 QUALITY R & C PROPRTIE | 2015-09-22 | FALLEN TIMBERS SUB DIV |  |  |
| 620 AUTUMN DR               | 1WD        | 1.067A                 |  |  |
| ADA OH 45810                | \$365,000  |                        |  |  |

|          |         |         |         |         |         |         |
|----------|---------|---------|---------|---------|---------|---------|
| Tax Year | 2022    | 2023    | 2024    | 2025    | 2025    | CAMA    |
| Prop Cls | 401     | 401     | 401     | 401     | 401     | 401     |
| Acres    | 1.0670  | 1.0670  | 1.0670  | 1.0670  | 1.0670  |         |
| Land100% | 10710   | 26740   | 26740   | 26740   | 26740   | 26750   |
| Bldg100% | 414000  | 464060  | 464060  | 464060  | 464060  | 464050  |
| Totl100% | 424710t | 490800t | 490800t | 490800t | 490800t | 490800t |
| Cauv100% |         |         |         |         |         |         |

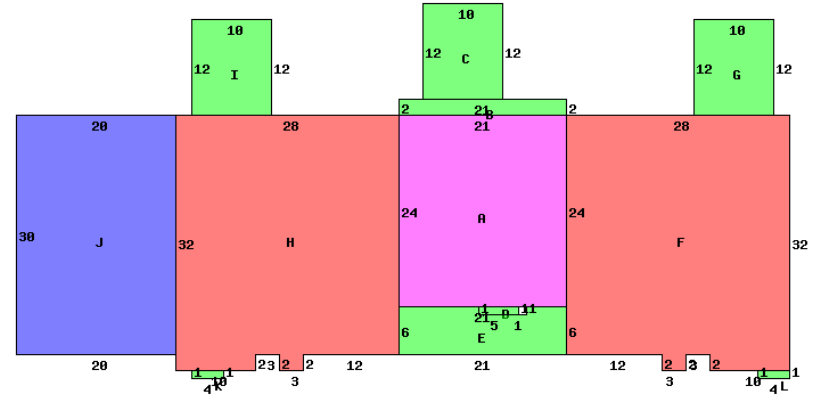
Orig Tax Year 2005  
Parent: 25-140058.0000

|            |         |         |         |         |         |         |
|------------|---------|---------|---------|---------|---------|---------|
| Tax Value: |         |         |         |         |         |         |
| Land 35%   | 3750    | 9360    | 9360    | 9360    | 9360    | 9360    |
| Bldg 35%   | 144900  | 162420  | 162420  | 162420  | 162420  | 162420  |
| Totl 35%   | 148650t | 171780t | 171780t | 171780t | 171780t | 171780t |
| Hmstd35%   |         |         |         |         |         |         |
| Owner Oc   |         |         |         |         |         |         |
| Hmstd RB   |         |         |         |         |         |         |
| Net Tax    | 7619.38 | 8307.70 | 8340.82 | 8357.42 | 8375.00 |         |
| Sp-Asmnt   | 225.50  | 242.84  | 239.84  | 242.84  |         |         |

| SHB+ | CONS | TYPE | FACT | SQ-FT | VALUE |   |       |
|------|------|------|------|-------|-------|---|-------|
| 2    | F/C  | M    |      | 504   |       | a | *MAIN |
|      | OH   | P    |      | 42    | 1600  | b | PORCH |
|      | PAT  | P    |      | 120   | 360   | c | PORCH |
|      | BAY  | P    |      | 5     | 190   | d | PORCH |
| 1    | OPP  | P    |      | 120   | 3600  | e | PORCH |
|      | F/C  | A    |      | 866   |       | f | ADDTN |
| 1    | PAT  | P    |      | 120   | 360   | g | PORCH |
|      | F/C  | A    |      | 866   |       | h | ADDTN |
|      | PAT  | P    |      | 120   | 360   | i | PORCH |
|      | F    | G    |      | 600   | 14400 | j | GRAGE |
|      | BAY  | P    |      | 4     | 150   | k | PORCH |
|      | BAY  | P    |      | 4     | 150   | l | PORCH |

| Sale# | #p   | sale date  | To                       | Type/Invalid? | Sale\$ | co:land | co:blgd |
|-------|------|------------|--------------------------|---------------|--------|---------|---------|
| 482   | 1    | 2015-09-22 | QUALITY R & C PROPERTIES | 1WD           | 365000 | 10710   | 298230  |
| 264   | 1    | 2004-05-12 | MCR INVESTMENTS LLC      | 1WD           | 158500 | 0       | 0       |
| Year  | Land | Bldg       | Total                    | Net Tax       |        |         |         |
| 2021  | 3750 | 144900     | 148650                   | 8414.16       |        |         |         |
| 2020  | 3750 | 144900     | 148650                   | 8523.32       |        |         |         |

| p r o j e c t |                              | ben acres | / | % | factor  |
|---------------|------------------------------|-----------|---|---|---------|
| 500           | HARDIN COUNTY LANDFILL       |           |   |   | XA/2025 |
| 107           | GRASS RUN #933 - HOG CREEK   |           |   |   | XA/2025 |
| 110           | HOG CREEK MAINLINE - HOG CR. |           |   |   | XA/2025 |
| 598           | ADA LIGHTS                   |           |   |   | XV/2025 |
| 577           | OTTAWA RIVER PROJECT MAINT   |           |   |   | XA/2021 |



620 AUTUMN DR 45810

| Occupancy 3 Tri-plex |            | *DWELLING COMPUTATIONS |                            |
|----------------------|------------|------------------------|----------------------------|
| Story Height         | 2          | Sq-Ft                  | Value                      |
| Floor Level          | Main       | FRAME                  | 2236 149700                |
|                      | Full Upper | FRAME                  | 504 42780                  |
|                      | Subtotal   |                        | 192480                     |
| Shingle              | Roof       | GABLE                  |                            |
| B 1 2 U A            |            |                        |                            |
| Plaster/Drywall      | D D        | 2 /                    | Extra Living Units 7000    |
| Floor/Pine           | X X        |                        | Air Conditioning 4770      |
| Floor/Carpet         | X X        |                        | Plumbing 8400              |
| Number of Rooms      | 4 3        |                        | Garages and Carports 14400 |
|                      |            |                        | Extra Features 8090        |
|                      |            |                        | Total Value 235140         |
| Central Heat         | A          |                        |                            |
| FORCED AIR           |            |                        |                            |
| Central A/C          | A          |                        | PUB PAVED ST/RD            |
| Plumbing             |            |                        |                            |
| Standard             | 3          |                        | Neighborhood:              |
| Extra 2 Fixture      | 1          |                        | Code: 2560                 |
|                      |            |                        | Dwl/Gar/NC% 1.0800         |

| Bldg Type  | SHB+Cons | DixHt     | Unit  | Blt/Renov | Replace   | Phy      | Fnc   | True |
|------------|----------|-----------|-------|-----------|-----------|----------|-------|------|
| 1 DWELLING | 2 F/C    | FtxFt     | Area  | Grade     | Cond      | Value    | Dpr   | Dpr  |
|            |          |           | 2740  | C+        | 2003AV    | 310390   | .15   | .15  |
| 2 Paving   |          |           | 3480  | C         | 2003AV    | 5220     | .50   | .50  |
|            |          | effective | depth | actual    | effective | extended | true  |      |
| site value | 1.0670   | frontage  | depth | rate      | rate      | value    | value |      |
|            |          |           |       | 25000     |           | 26750    | 26750 |      |

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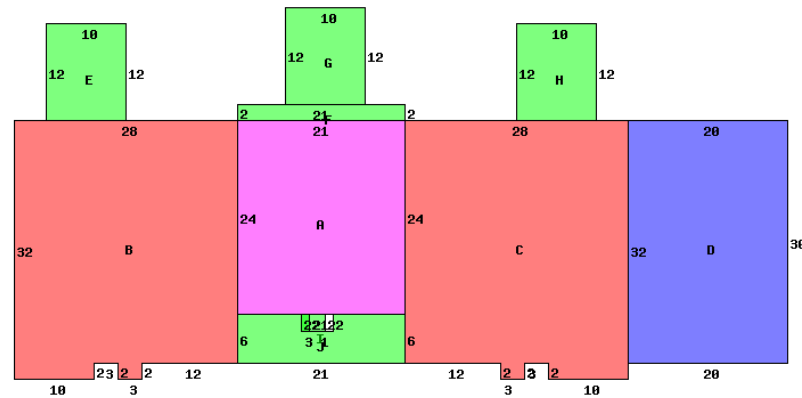
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CAMA / Cont: 1

| SHB+ | CONS | TYPE | FACT | SQ-FT | VALUE |   |       |
|------|------|------|------|-------|-------|---|-------|
| 2    | F/C  | M    |      | 504   |       | a | *MAIN |
| 1    | F/C  | A    |      | 866   |       | b | ADDTN |
| 1    | F/C  | A    |      | 866   |       | c | ADDTN |
|      | F    | G    |      | 600   | 14400 | d | GRAGE |
|      | PAT  | P    |      | 120   | 360   | e | PORCH |
|      | OH   | P    |      | 42    | 1600  | f | PORCH |
|      | PAT  | P    |      | 120   | 360   | g | PORCH |
|      | PAT  | P    |      | 120   | 360   | h | PORCH |
|      | OH   | P    |      | 6     | 230   | i | PORCH |
|      | OPF  | P    |      | 120   | 3600  | j | PORCH |



620 AUTUMN DR 45810

| Occupancy 3 Tri-plex |                 | *DWELLING COMPUTATIONS |        |
|----------------------|-----------------|------------------------|--------|
| Story Height         | Floor Level     | Sq-Ft                  | Value  |
| 2                    | Main            | 2236                   | 149700 |
|                      | Full Upper      | 504                    | 42780  |
|                      | Subtotal        |                        | 192480 |
|                      | Roof            |                        |        |
|                      | B 1 2 U A       |                        |        |
|                      | Plaster/Drywall | Extra Living Units     | 7000   |
|                      | Floor/Carpet    | Air Conditioning       | 4770   |
|                      | Floor/Tile-Lino | Plumbing               | 8400   |
|                      | Number of Rooms | Garages and Carports   | 14400  |
|                      |                 | Extra Features         | 7830   |
|                      |                 | Total Value            | 234880 |
|                      | Central Heat    |                        |        |
|                      | FORCED AIR      |                        |        |
|                      | Central A/C     |                        |        |
|                      | Plumbing        |                        |        |
|                      | Standard        | 3                      |        |
|                      | Extra 2 Fixture | 1                      |        |

| Bldg Type  | SHB+Cons | DixHt | Area | Unit | Grade | Blt/Renov | Replace | Phy | Fnc | True   |
|------------|----------|-------|------|------|-------|-----------|---------|-----|-----|--------|
| 3 DWELLING | 2 F/C    | FtxFt | 2740 | Rate |       | Cond      | Value   | Dpr | Dpr | Value  |
|            |          |       |      |      | C+    | 2005AV    | 310040  | .10 | .15 | 237180 |

Call Back: - - - Sign: Date: Lister: 25-140065.0000-v082020R