

CESSNA TWP
NORTHERN SD

000080

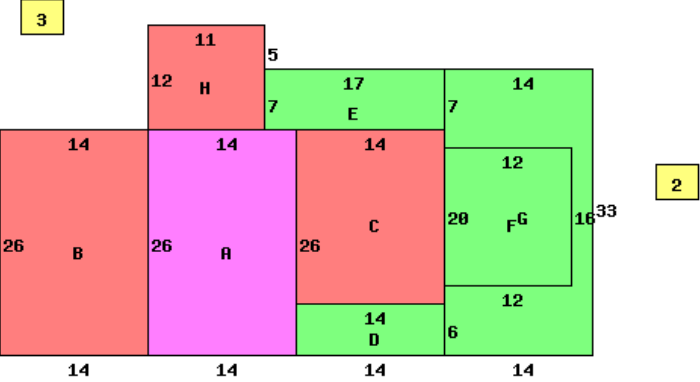
Hardin County, Ohio
Michael T. Bacon, Auditor

08-130007.0000
G07

RES
2025

Sale			Eff Rate: - 48.94 - 39.01 - 41.29 - 41.13 - a/r						
2022	CLOSE	CAROL & ROGER S	2018-07-02	Tax Year	2022	2023	2024	2025	CAMA
2023	CLOSE	CAROL & ROGER S	2018-07-02	Prop Cls	511	511	511	511	511
2024	CLOSE	CAROL & ROGER S	2018-07-02	Acres	5.0000	5.0000	5.0000	5.0000	
2025	CLOSE	CAROL & ROGER STE	2018-07-02	Land100%	22200	31000	31000	31000	31000
	8499	CR 135	3CT 5.00A	Bldg100%	75710	97800	97800	97800	97800
KENTON OH 43326			\$0	Totl100%	97910t	128800t	128800t	128800t	128800t
				Cauv100%					
				Tax Value:					
				Land 35%	7770	10850	10850	10850	10850
				Bldg 35%	26500	34230	34230	34230	34230
				Totl 35%	34270t	45080t	45080t	45080t	45080t
				Hmstd35%					
				Owner 0c					
				Hmstd RB					
				Net Tax	1524.98	1597.88	1701.46	1694.78	
				Sp-Asmnt	29.07	41.14	37.14	44.17	

SHB+ 1HB 1 1 B	CONS F F/C	TYPE M A A	FACT	SQ-FT 364 364 280	VALUE 84 2520 3570 7680 270 132	a b c d e f g h	*MAIN ADDTN ADDTN PORCH PORCH PORCH PORCH ADDTN
1H	DK F/C	P A					
Sale# 255 745	#p 3 0	sale date 2018-07-02 1987-08-28	To CLOSE CAROL & ROGER STEPH	Type/Invalid? 3CT *	Sale\$ 0 0	co:land 21600 0	co:bldg 67060 32230
Year 2021 2020	Land 7770 7770	Bldg 26500 26500	Total 34270 34270	Net Tax 1533.00 1539.14			
p r o j e c t					ben acres / % factor		
131	BLANCHARD RIVER MAINT			XA/2025			
235	KELLOGG #983 - BLANCHARD			XA/2025			
500	HARDIN COUNTY LANDFILL			XA/2025			
921	BLANCHARD RIVER MAINT			XA/2023			
286	DEARDORFF #1024 - BLANCHARD			XA/2025			



Occupancy 1 Single Family				*DWELLING COMPUTATIONS												
Story Height	1H			Sq-Ft	Value	Bldg Type	SHB+Cons	DixHt	Area	Unit	Grade	Blt/Renov	Replace	Phy	Fnc	True
Floor Level		Main	FRAME	1140	105210	1 DWELLING	1HB F	FtxFt	1636		C	1933AV	163210	.55		87400
		Part Upper	FRAME	496	26560	2 Garage	CB 0	26X40	1040		C	1950AV	24960	.65		10400
		Basement		644	12220	3 POND	*.12AC		0			OLD/	0			0
		Subtotal			143990											
Metal		Roof	GABLE													
Plaster/Drywall	B	1	2	U	A	homesite	acres/	effective	depth	depth	actual	effective	extended	true		
Panelled Wall		X	X			small acreage	frontage	frontage	factor	factor	rate	rate	value	value		
Unfinished Wall		X					1.0000				15000	15000	15000	15000		
Floor/Carpet		X	X				4.0000				5000	4000	16000	16000		
Number of Rooms	1	3	2													
Bedrooms	1	2														
Central Heat		A														
HOT WATER																
Plumbing																
Standard	1															
Extra 2 Fixture	1															

Call Back:

Sign: PSN Date: 2015-04-20 Lister:

08-130007.0000-v082020R